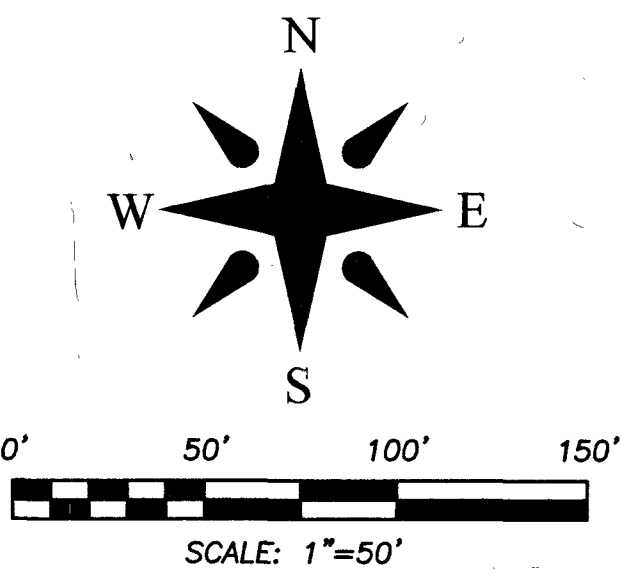


# RUSTIC LAKES LOTS 28 AND 29

BEING A PLAT OF LOTS 28 AND 29, KRAMERS UNRECORDED SUBDIVISION OF THE EAST 1/2 OF SECTION 23, TOWNSHIP 42 SOUTH, RANGE 41 EAST, PALM BEACH COUNTY, FLORIDA, LYING WITHIN THE CITY OF PALM BEACH GARDENS, PALM BEACH COUNTY, FLORIDA.

# 100

SHEET 2 OF 2



NORTH 1/4 CORNER OF SECTION 23/42/41 (P.B.C. PUBLISHED LOCATION, NOT RECOVERED)  
N: 901013.6440  
E: 910183.2170

NE CORNER OF SECTION 14/42/41 (P.B.C. PUBLISHED LOCATION)  
N: 906277.1510  
E: 913021.2760

NE CORNER OF SECTION 23/42/41 (P.B.C. PUBLISHED LOCATION, NOT RECOVERED)  
N: 900968.6160  
E: 912884.2670

RECOVERED NGS CONTROL POINT "Y 547" (TOP OF STAINLESS STEEL ROD, ACCESS THROUGH 5" LOGO CAP) AT PUBLISHED POSITION  
N: 902406.26  
E: 930830.86

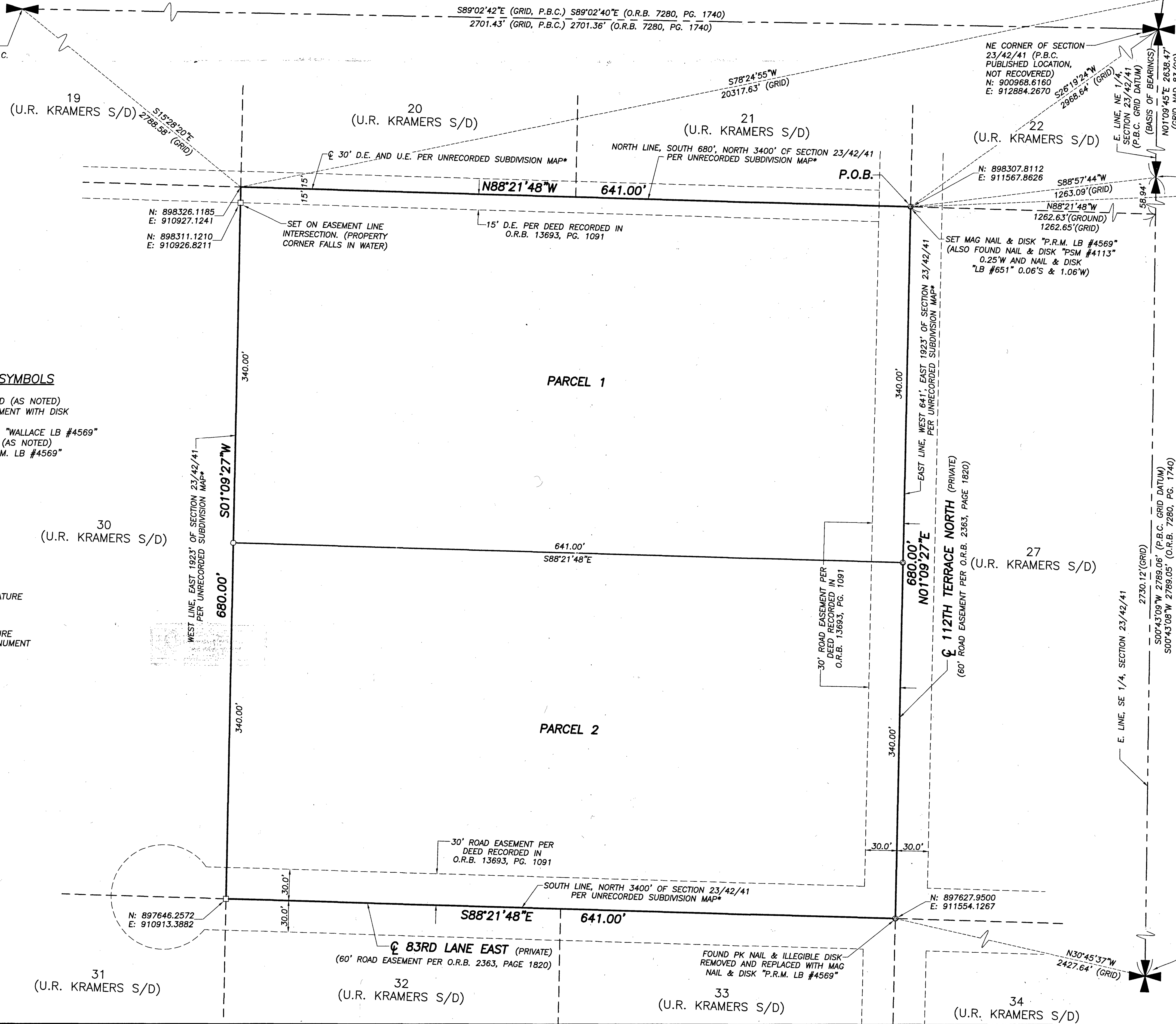
P.O.C. EAST 1/4 CORNER OF SECTION 23/42/41 (P.B.C. PUBLISHED LOCATION, NOT RECOVERED)  
N: 898330.6880  
E: 912830.7410

RECOVERED NGS CONTROL POINT "Z 547" (CONCRETE MONUMENT WITH DISK STAMPED "Z 547 2001 CERP") AT PUBLISHED POSITION  
N: 899262.24  
E: 935092.01

### ABBREVIATIONS & SYMBOLS

- = CONCRETE MONUMENT FOUND (AS NOTED)
- = SET 4"x4" CONCRETE MONUMENT WITH DISK "P.R.M. LB #4569"
- = SET 5/8" IRON ROD & CAP "WALLACE LB #4569"
- = FOUND IRON ROD AND CAP (AS NOTED)
- = SET MAG NAIL & DISK "P.R.M. LB #4569"
- A.K.A. = ALSO KNOWN AS
- C, C/L = CENTERLINE
- D.B. = DEED BOOK
- D.E. = DRAINAGE EASEMENT
- ESMT. = EASEMENT
- N.A.E. = NON-ACCESS EASEMENT
- N.T.S. = NOT TO SCALE
- L.B. = LICENSED BUSINESS
- (M) = MEASURE
- M.E. = MAINTENANCE EASEMENT
- O.R.B. = OFFICIAL RECORDS BOOK
- O/S = OFFSET
- P.B. = PLAT BOOK
- P.B.C. = PALM BEACH COUNTY
- P.C.C. = POINT OF COMPOUND CURVATURE
- PG. = PAGE
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- P.R.C. = POINT OF REVERSE CURVATURE
- P.R.M. = PERMANENT REFERENCE MONUMENT
- P.T. = POINT OF TANGENCY
- R.P.B. = ROAD PLAT BOOK
- R/W = RIGHT-OF-WAY
- S/D = SUBDIVISION
- S.R. = STATE ROAD
- U.E. = UTILITY EASEMENT
- U.R. = UNRECORDED
- W.C. = WITNESS CORNER

- ### CURVE SYMBOLS
- A = ARC (LENGTH)
  - R = RADIUS
  - Δ = CENTRAL ANGLE
  - CB = CHORD BEARING



### SURVEYOR'S NOTES:

1. BUILDING SETBACK LINES SHALL BE AS REQUIRED BY THE CURRENT BUILDING AND ZONING REGULATIONS OF THE CITY OF PALM BEACH GARDENS.
2. NO BUILDING OR ANY KIND OF CONSTRUCTION OR TREES OR SHRUBS SHALL BE PLACED ON ANY EASEMENT WITHOUT PRIOR WRITTEN CONSENT OF ALL EASEMENT BENEFICIARIES AND APPLICABLE CITY OF PALM BEACH GARDENS APPROVALS OR PERMITS AS REQUIRED FOR SUCH ENCROACHMENTS.
3. IN THOSE CASES WHERE EASEMENTS OF DIFFERENT TYPES CROSS OR OTHERWISE COINCIDE, DRAINAGE EASEMENTS SHALL HAVE FIRST PRIORITY, UTILITY EASEMENTS SHALL HAVE SECOND PRIORITY, ACCESS EASEMENTS SHALL HAVE THIRD PRIORITY, AND ALL OTHER EASEMENTS SHALL BE SUBORDINATE TO THESE WITH THEIR PRIORITIES BEING DETERMINED BY USE RIGHTS GRANTED.
4. NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
5. ALL RECORDED INFORMATION REFERS TO THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
6. EXISTING RECORDED EASEMENTS SHOWN HEREON ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT PART OF THIS PLAT.
7. ALL LINES INTERSECTING CIRCULAR CURVES ARE RADIAL UNLESS OTHERWISE NOTED.
8. \*DENOTES INFORMATION BASED ON UNRECORDED DRAWING TITLED "SUBDIVISION OF THE EAST HALF OF SECTION 23, TOWNSHIP 42 SOUTH, RANGE 41 EAST FOR A. H. KRAMER AND G. L. BURNS", PREPARED BY JOHN P. DAVIS & ASSOCIATES, MARCH, 1970.
9. BEARINGS SHOWN HEREON ARE GRID (NAD 1983/1990 ADJUSTMENT AS PUBLISHED BY PALM BEACH COUNTY) AND ARE BASED ON THE EAST LINE OF THE NORTHEAST QUARTER (SE 1/4) OF SECTION 23, TOWNSHIP 42 SOUTH, RANGE 41 EAST, WHICH BEARS N 01°09'45" E AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
10. DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET AS MEASURED ON HORIZONTAL PLANE. UNLESS LABELED AS "GRID", ALL DISTANCES ARE GROUND.
11. COORDINATES SHOWN HEREON ARE GRID, BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE, NORTH AMERICAN DATUM OF 1983, 1990 ADJUSTMENT.
12. SCALE FACTOR = 1.000015772
13. GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE.

NE CORNER OF SECTION 26/42/41 (P.B.C. PUBLISHED LOCATION, NOT RECOVERED)  
N: 895541.8490  
E: 912795.7380

THIS INSTRUMENT PREPARED BY:  
CRAIG L. WALLACE IN THE OFFICE OF WALLACE SURVEYING CORPORATION  
5553 VILLAGE BOULEVARD,  
WEST PALM BEACH, FLORIDA 33407

**WALLACE SURVEYING**  
CORP., LICENSED BUSINESS # 4049  
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 • (561) 640-4551

FIELD:	JOB NO.: 21-1557.3	F.B.	PG.
OFFICE: R.C./S.W.	DATE: MARCH 2022	DWG. NO. 21-1557-1	
C/K'D: C.W.	REF: 21-1557.DWG	SHEET 2 OF 2	